



# City of Harrisonburg

## Department of Planning and Community Development

409 South Main Street  
Harrisonburg, Virginia 22801  
540-432-7700

[www.harrisonburgva.gov/community-development](http://www.harrisonburgva.gov/community-development)

## Memorandum

To: Harrisonburg Planning Commission  
From: Adam Fletcher, Director of Planning and Community Development  
**RE: Joint Public Hearing at City Council May 10, 2016**  
Date: Monday, May 2, 2016

Attached herein is the staff report and supporting materials for the joint public hearing for the special use permit application to allow the proposed elementary school along Garbers Church Road to exceed the height limitation of the R-1 zoning district.

To review the agenda for the Tuesday, May 10, 2016 City Council meeting see the following page: <https://harrisonburg-va.legistar.com/Calendar.aspx>.



# City of Harrisonburg, Virginia

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Building Inspections: (540) 432-7700  
Engineering: (540) 432-7700

Planning and Zoning: (540) 432-7700  
Department Fax: (540) 432-7777

To: Kurt Hodgen, City Manager  
From: Department of Planning and Community Development  
Date: May 10, 2016  
Re: **Joint Public Hearing** – Special Use Permit – 750 Garbers Church Road (Section 10-3-34 (11) to Allow a Public Use to Deviate from Zoning Regulations)

## **Summary:**

Public hearing to consider a request from the City of Harrisonburg for a special use permit (SUP) per section 10-3-34 (11) of the Zoning Ordinance to allow for a proposed, new elementary school to exceed the 35-foot maximum height allowed for a structure in the R-1, Single Family Residential District. The property is addressed as 750 Garbers Church Road and is identified as tax map parcels 117-D-1, 2, and 6.

## **Background:**

The engineered comprehensive site plan (CSP) for Bluestone Elementary School (BES) was accepted into the CSP review process on October 13, 2015. The CSP went through four, formal reviews and was approved on March 28, 2016, the same day it was issued a land disturbance permit. The building permit was applied for and accepted for review on March 17, 2016. Like all permits, once accepted, the first stage of a permit's review includes evaluation for Zoning Ordinance compliance. It was at this point in the review that staff was informed of the maximum height of the proposed two and three story elementary school and it was brought to our attention that the building would exceed the 35-foot maximum height allowance of the R-1 district.

## **Key Issues:**

Section 10-3-34 (11) is a SUP option that allows for any use defined as a "public use" to deviate from any requirement of Title 10 Chapter 3, which is the City's Zoning Ordinance. Specifically, the City is requesting for the proposed BES building be granted the ability to exceed the 35-foot maximum height allowance of the R-1 district.

Over the City's history, there have been interpretation changes as to whether or not the City should abide by its own zoning regulations. In recent history, up until September 2014, the City's policy was that the City (or "public uses") did not have to conform to the regulations of the Zoning Ordinance. However, in September 2014, the City made appropriate changes to the Zoning Ordinance, which in effect clarified that the City is to abide by its own zoning requirements, by adding a SUP option within each zoning district that allows "[p]ublic uses which deviate from the requirements of Title 10, Chapter 3." This request is the first instance in which the City has applied for such a SUP.

Elevation illustrations for BES are provided herein. Elevation #2, which is the second elevation on the first sheet titled Overall Elevation West, is the side of the building that must be considered when measuring the height of the structure—the side facing Garbers Church Road. In viewing the Overall

Elevation West illustration, the northern, two story side of the building reaches a height of 35 feet 3 inches, while on the southern, three story side of the building, the structure reaches a height of 44 feet 4 inches. In comparison, Harrisonburg High School, at 1001 Garbers Church Road and located across the street from the subject site, reaches a height of 47 feet 6 inches, which was built during a time when zoning regulations did not apply to public uses.

**Environmental Impact:**

N/A

**Fiscal Impact:**

N/A

**Prior Actions:**

N/A

**Alternatives:**

If the SUP is denied, the building plans for BES would have to be significantly redesigned to accommodate the 35-foot maximum height regulation of the R-1 district. Changing the design of the building could require the architects and the engineers to redesign the entire project.

**Community Engagement:**

As required, the request was published in the local newspaper twice advertising for the joint public hearing of Planning Commission and City Council for the SUP. The advertisement was published as shown below:

Public hearing to consider a request from the City of Harrisonburg for a special use permit per Section 10-3-34 (11) of the Zoning Ordinance to allow for a proposed, new elementary school to exceed the 35-foot maximum building height restriction in the R-1, Single Family Residential District. Section 10-3-34 (11) allows for any use defined as a “public use” in the R-1 district, through review and approval of a special use permit, to deviate from any requirement of Title 10, Chapter 3, which is the City’s Zoning Ordinance. The property is addressed as 750 Garbers Church Road and is identified as tax map parcels 117-D-1, 2, and 6.

In addition, adjoining property owners were notified of the joint public hearing, the property was posted with signage advertising the request, and a notice was provided on the City’s website at <https://www.harrisonburgva.gov/public-hearings>.

**Recommendation:**

Staff supports the request for a SUP per section 10-3-34 (11) of the Zoning Ordinance to allow for the elementary school to exceed the 35-foot height limit of the R-1 district.

**Attachments:**

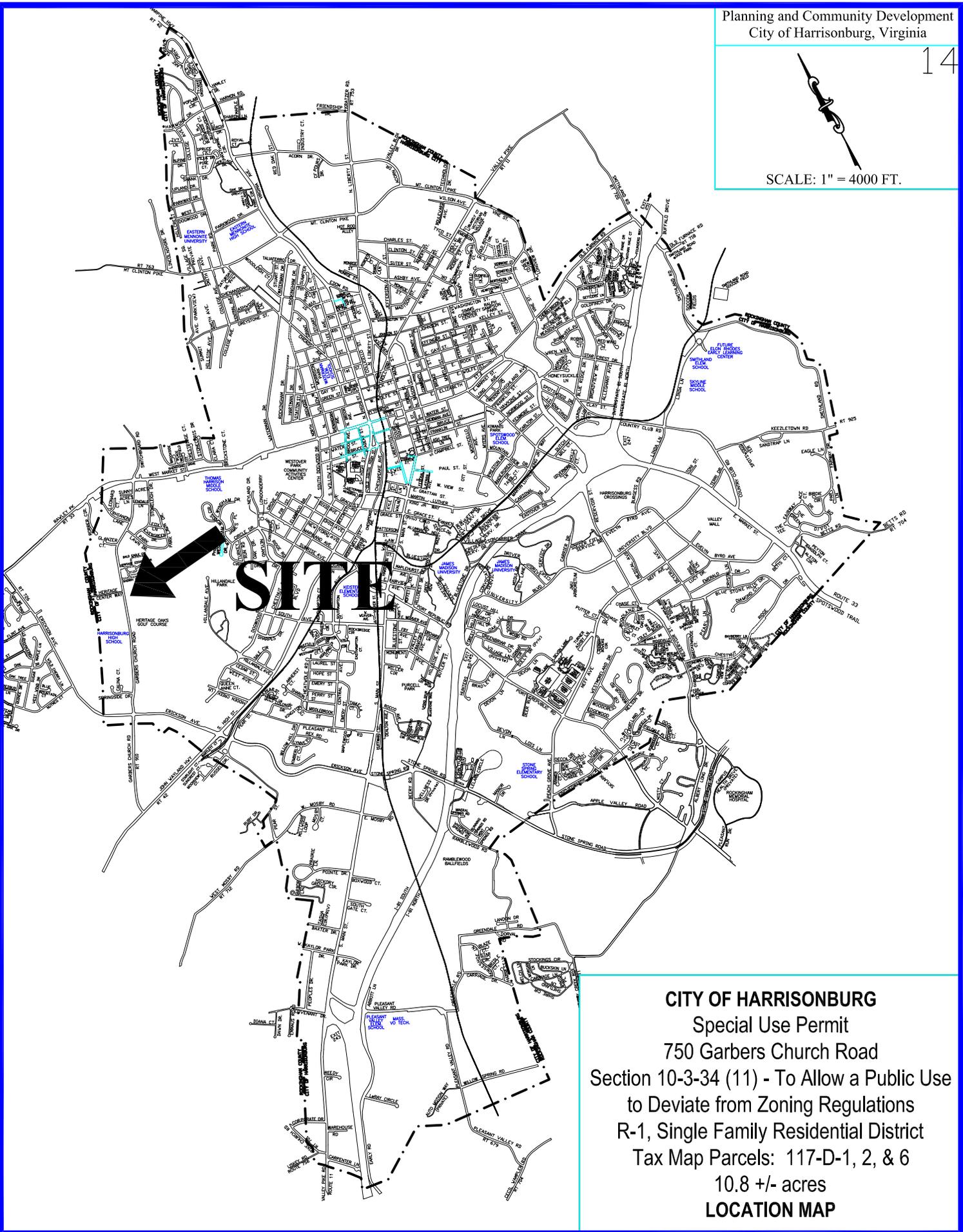
1. Site maps (2 pages)
2. Application (1 page)
3. Elevation Drawings and General Site Layout (7 pages)

**Review:**

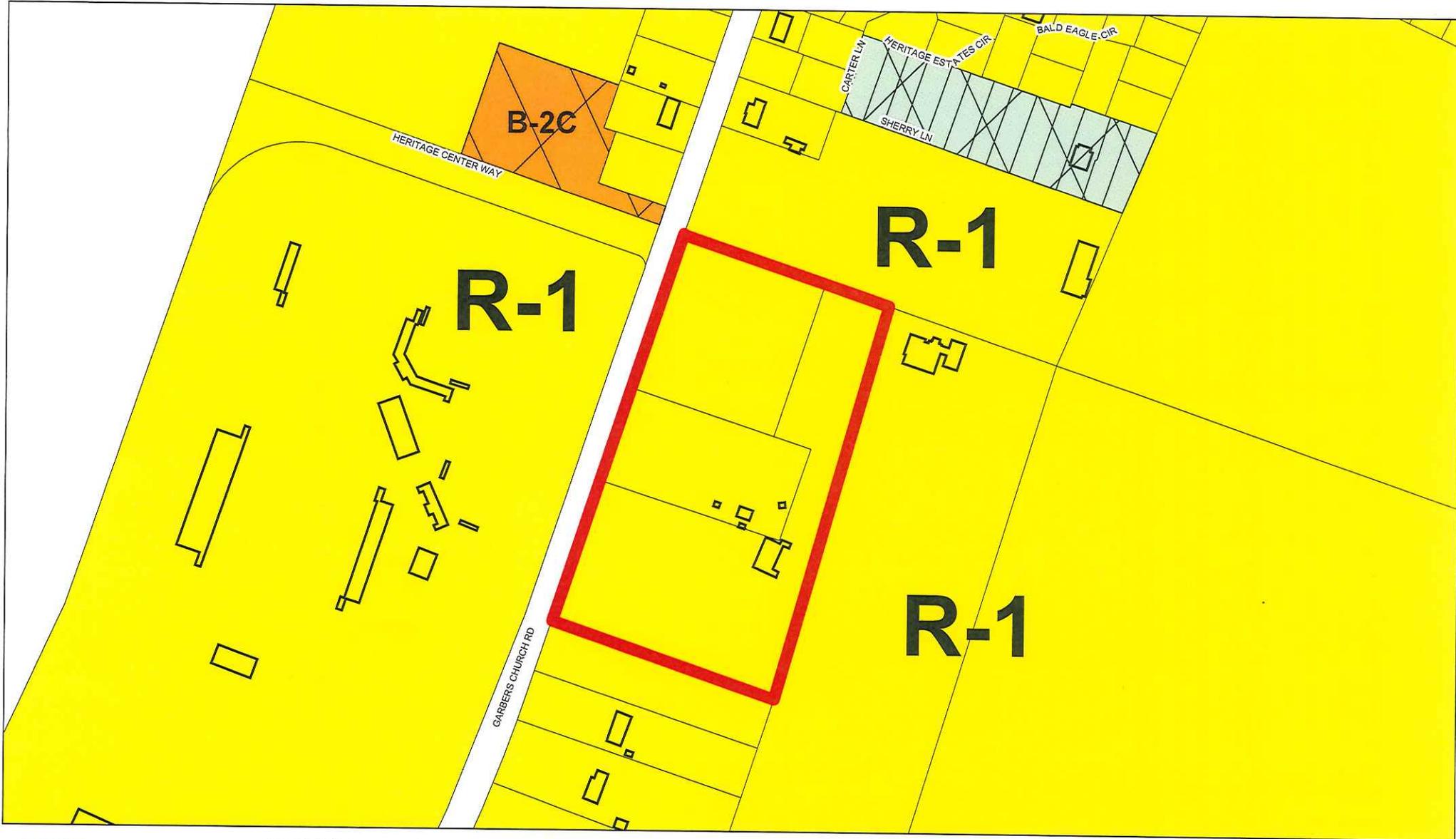
N/A



SCALE: 1" = 4000 FT.



**CITY OF HARRISONBURG**  
Special Use Permit  
750 Garbers Church Road  
Section 10-3-34 (11) - To Allow a Public Use  
to Deviate from Zoning Regulations  
R-1, Single Family Residential District  
Tax Map Parcels: 117-D-1, 2, & 6  
10.8 +/- acres  
**LOCATION MAP**



**SUP - Garbers Church Road Elementary School  
10-3-34 (11) - Deviate from Zoning Requirements**

Date Application Received: \_\_\_\_\_

Total Paid:  N/C

## Application for Special Use Permit City of Harrisonburg, Virginia

Fee: \$375.00 plus \$30.00 per acre

**NOTE: If applying for a Wireless Telecommunications Facility allowed only by SUP, then also submit a wireless telecommunications facility application.**

Property Owner's Name:  Harrisonburg City School Board

Street Address:  One Court Square  Email: \_\_\_\_\_

City:  Harrisonburg  State:  VA  Zip:  22082

Telephone: Work  434-9916  Fax  434-5196  Mobile \_\_\_\_\_

Owner's Representative: \_\_\_\_\_

Street Address: \_\_\_\_\_ Email: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: Work \_\_\_\_\_ Fax \_\_\_\_\_ Mobile \_\_\_\_\_

### Description of Property and Request

Location (Street Address):  750 Garbers Church Road

Tax Map Number Sheet:  117  Block:  D  Lot:  1, 2, 6  Lot Area: \_\_\_\_\_

Existing Zoning Classification:  R-1, Single Family Residential

Special Use being requested:  10-3-34 (11) Public Uses to Deviate From Zoning Requirements

Please provide a detailed description of the proposed (use additional pages may be attached): \_\_\_\_\_

Elementary School to exceed 35' maximum height

Names and Addresses of Adjacent Property Owners (Use separate sheet for additional names)

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

**Certification:** *I certify that the information contained herein is true and accurate.*

Signature: \_\_\_\_\_

*Property Owner*

### ITEMS REQUIRED FOR SUBMISSION

- Completed Application
- Site Plan
- Description of Proposed Use
- Adjacent Property Owners

- Fees Paid
- Property Located on Tax Map
- \_\_\_\_\_
- \_\_\_\_\_



- ELEVATION / BUILDING SECTION GENERAL NOTES
- ON SYMMETRICAL DRAWINGS, ALL NOTES AND DIMENSIONS SHOWN ON ONE-HALF OF DRAWING SHALL APPLY TO BOTH HALVES OF DRAWINGS.
  - PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE).
  - INTERIOR VIEWS IN BUILDING SECTIONS ARE TYPICALLY SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
  - FOOTINGS AND FOUNDATIONS ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF WORK.
  - ALL DOWNSPOUTS ARE TO BE 6" TYPICAL, U.N.O.
  - REFERENCE MEP & CIVIL DRAWINGS FOR FULL SCOPE OF M.E.P. AND CIVIL WORK.
  - PROVIDE CAST IRON BOOTS AT ALL DOWNSPOUTS AT GRADE, U.N.O.

KEYNOTES

- 04 4313A STONE VENEER - LIMESTONE (BROKEN ASHLAR PATTERN)

EXTERIOR ASSEMBLY TYPES  
(REFER TO A500 FOR DETAILED DESCRIPTION)

- 1A 04 2000C GFCMJ VENEER
- 1B 04 2000C GFCMJ VENEER (USED AT RETAINING LOCATIONS WITHOUT HABITABLE SPACE ON VENEER SIDE)
- 1C 04 2000C GFCMJ VENEER (USED @ RETAINING LOCATIONS WITH HABITABLE SPACE ON VENEER SIDE)
- 2A 04 4313A STONE VENEER
- 3A 04 2000A BRICK VENEER
- 4A 07 4646A FIBER CEMENT SIDING PANELS
- 5A 07 4253A WOOD-FACED COMPOSITE WALL PANELS
- 6A 03 3000A CIP CONCRETE

GRAPHIC SCALE - 1/16" = 1'-0"

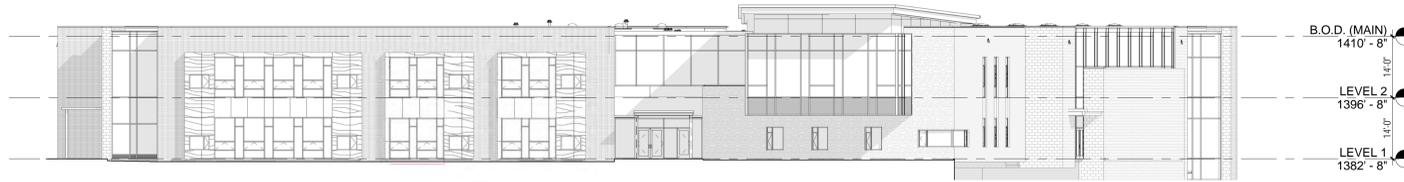


ISSUES AND REVISIONS

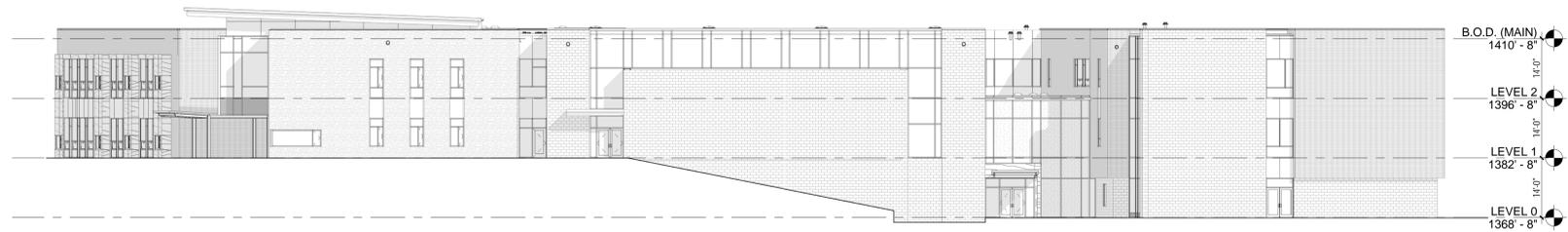
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OVERALL EXTERIOR  
ELEVATIONS

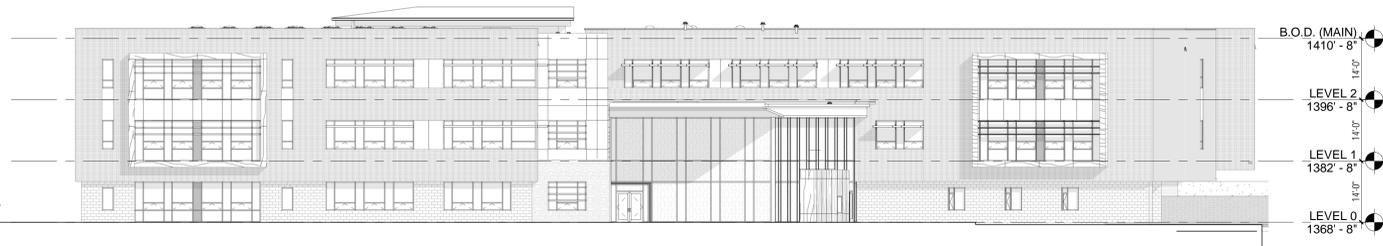
A301



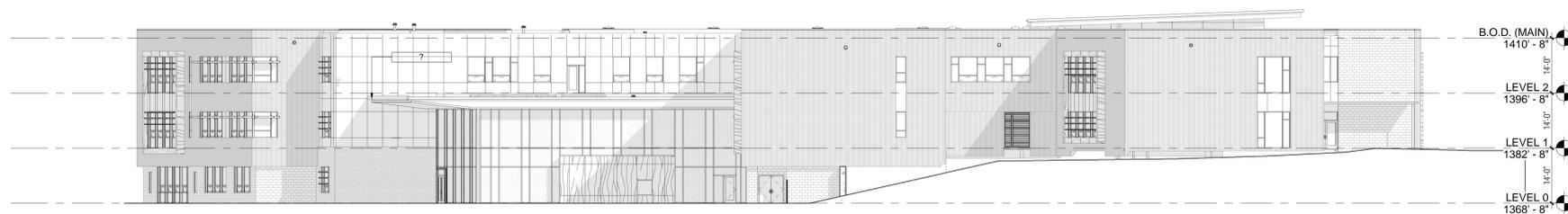
1 OVERALL NORTH ELEVATION  
A111(A301) 1/16" = 1'-0"



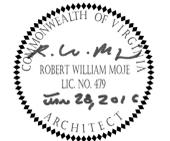
2 OVERALL ELEVATION WEST  
A112(A301) 1/16" = 1'-0"



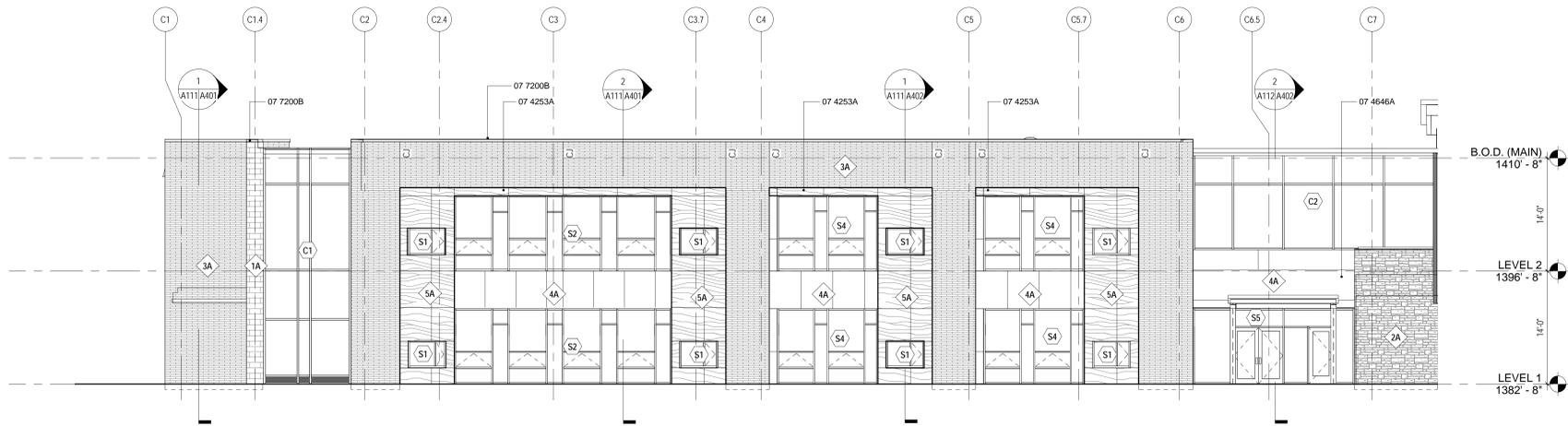
3 OVERALL SOUTH ELEVATION  
A103(A301) 1/16" = 1'-0"



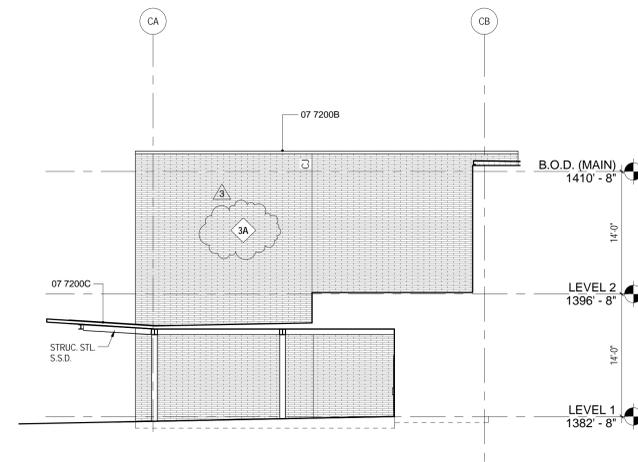
4 OVERALL EAST ELEVATION  
A101(A301) 1/16" = 1'-0"



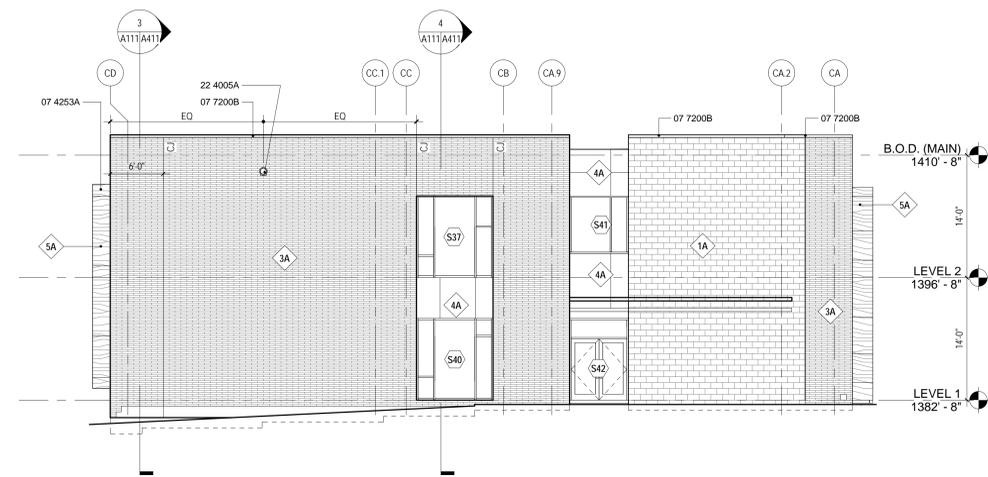
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3	ADDENDUM #03	12 FEB 2016
4	ADDENDUM #04	19 FEB 2016



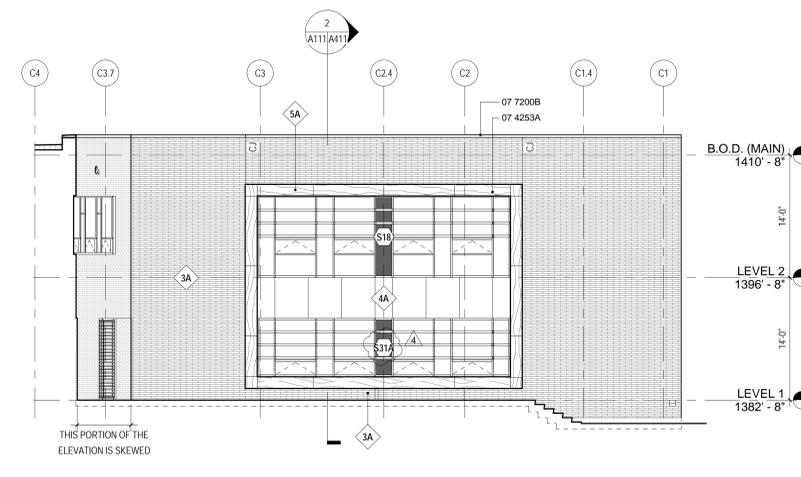
1 ELEVATION AREA A NORTH  
A111/A321 1/8" = 1'-0"



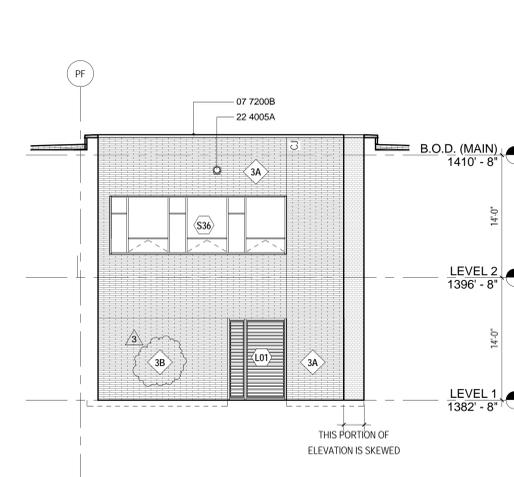
2 ELEVATION AREA A WEST  
A111/A321 1/8" = 1'-0"



3 ELEVATION AREA A EAST  
A111/A321 1/8" = 1'-0"



4 ELEVATION AREA A SOUTH  
A111/A321 1/8" = 1'-0"



5 ELEVATION AREA A EAST  
A111/A321 1/8" = 1'-0"

- ELEVATION / BUILDING SECTION GENERAL NOTES**
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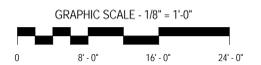
**KEYNOTES**

07 4253A	WOOD-FACED COMPOSITE WALL PANELS (EXTERIOR)
07 4646A	FIBER CEMENT PANEL (FCP)
07 7200B	PRE-MANUFACTURED COPINGS
07 7200C	PRE-MANUFACTURED CANTED ROOF EDGE FASCIA (GRAVELSTOP)
22 4005A	SECONDARY ROOF DRAIN OUTLET

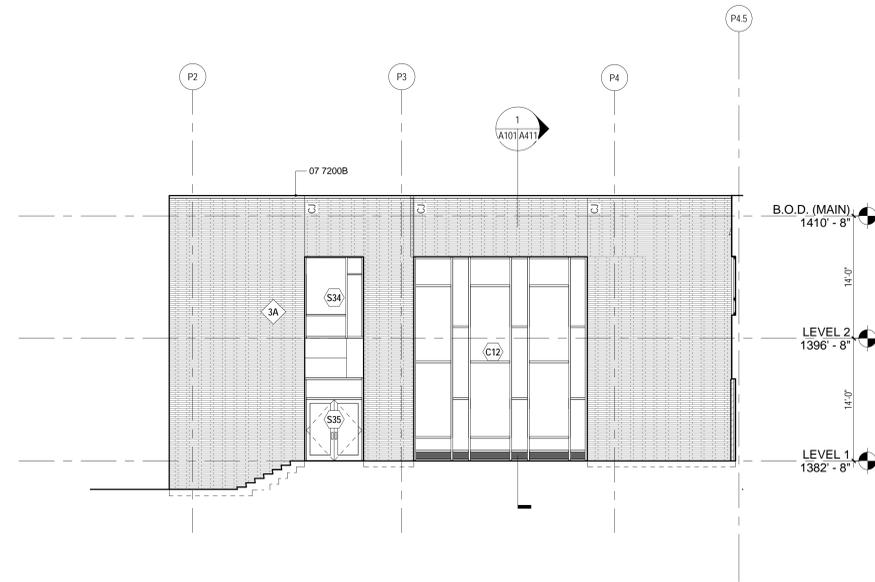
**EXTERIOR ASSEMBLY TYPES**  
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1A	04 2000C GFCMU VENEER	2A	04 4313A STONE VENEER
1B	04 2000C GFCMU VENEER (USED AT RETAINING LOCATIONS WITHOUT HABITABLE SPACE ON VENEER SIDE)	3A	04 2000A BRICK VENEER
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1D	04 2000C GFCMU VENEER	5A	07 4253A WOOD-FACED COMPOSITE WALL PANELS
		6A	03 3000A CIP CONCRETE

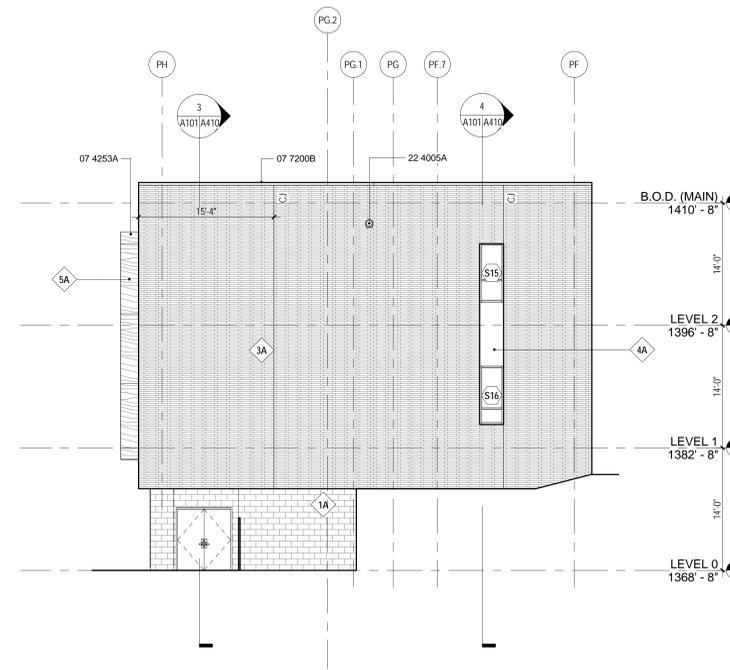
EXTERIOR ELEVATIONS - AREA A



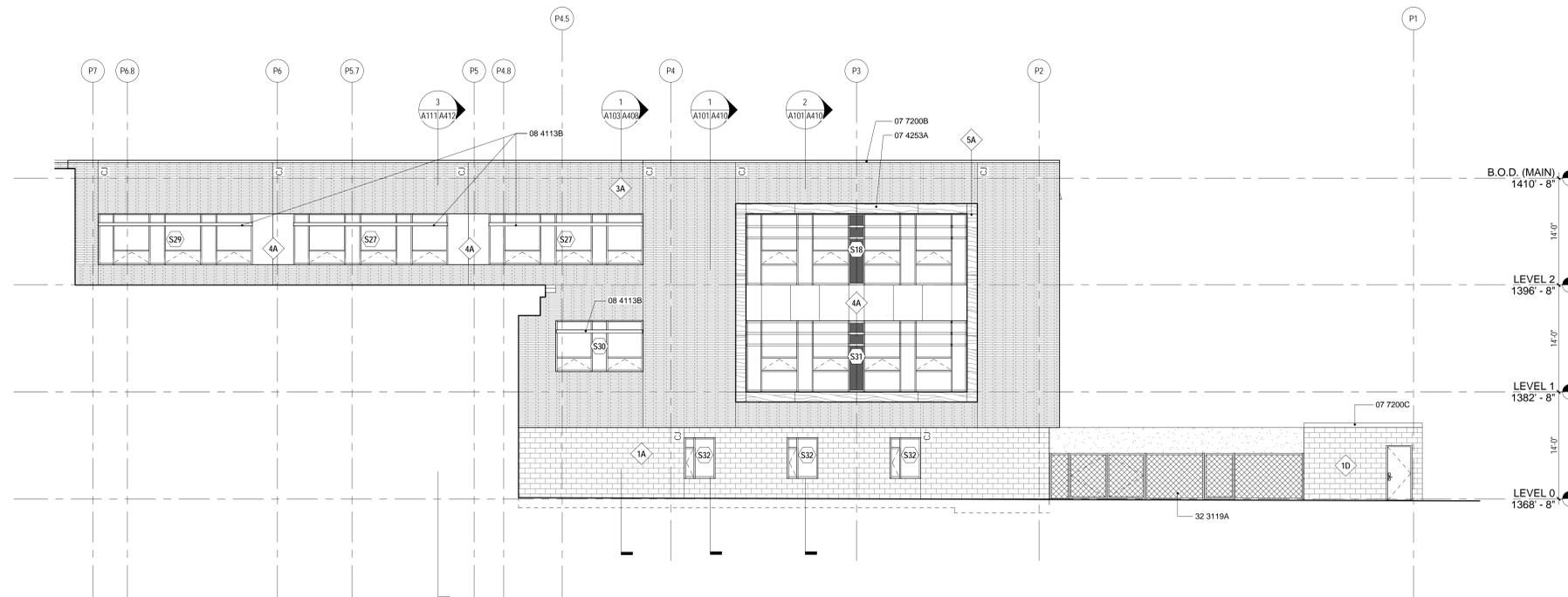
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1 ELEVATION AREA A, NORTH  
A111/A322 1/8" = 1'-0"



2 ELEVATION AREA A, EAST  
A011/A322 1/8" = 1'-0"

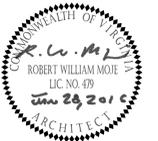


3 ELEVATION AREA A, SOUTH  
A011/A322 1/8" = 1'-0"

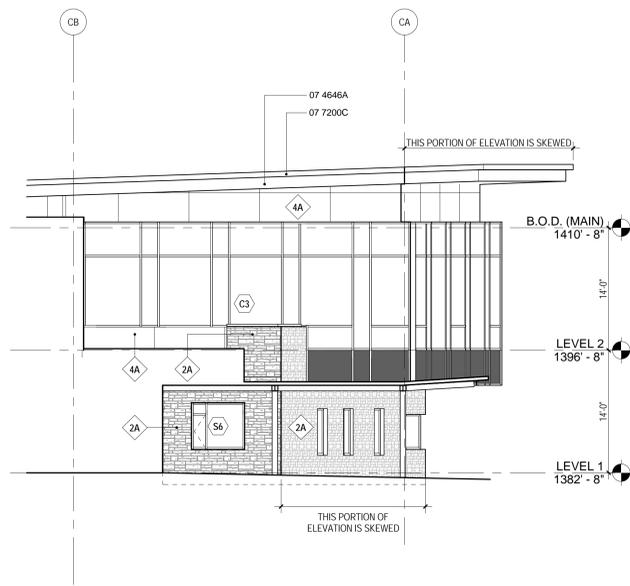
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- KEYNOTES**
- 07 4253A WOOD-FACED COMPOSITE WALL PANELS (EXTERIOR)
  - 07 7200B PRE-MANUFACTURED COPINGS
  - 07 7200C PRE-MANUFACTURED CANTED ROOF EDGE FASCIA (GRAVELSTOP)
  - 08 4113B HORIZONTAL OUTRIGGER SUNSHADE
  - 22 4005A SECONDARY ROOF DRAIN OUTLET
  - 32 3119A CHAIN LINK FENCE

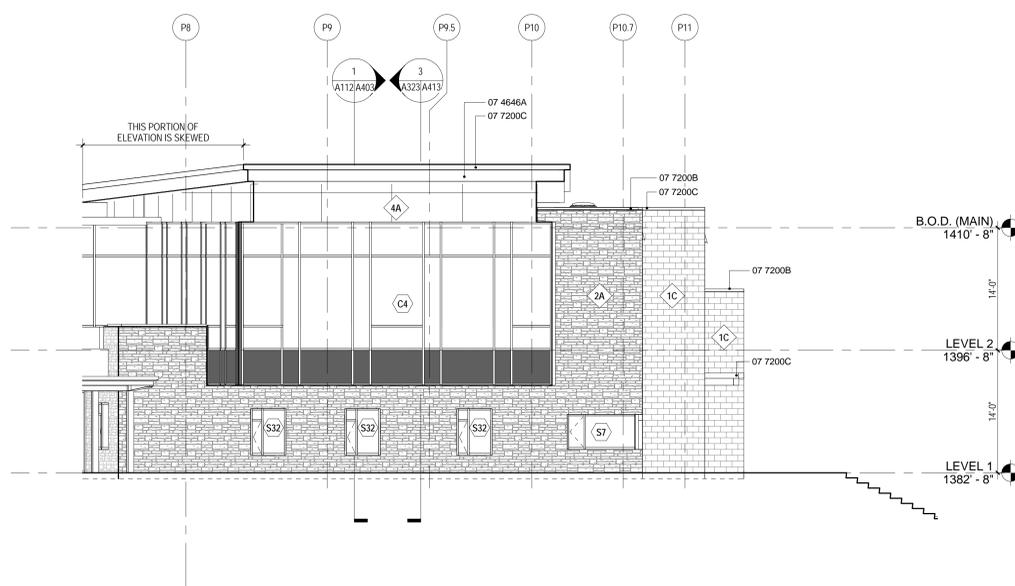
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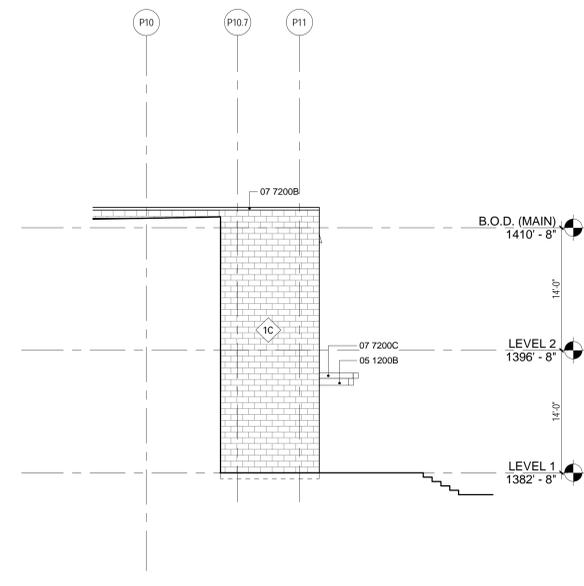
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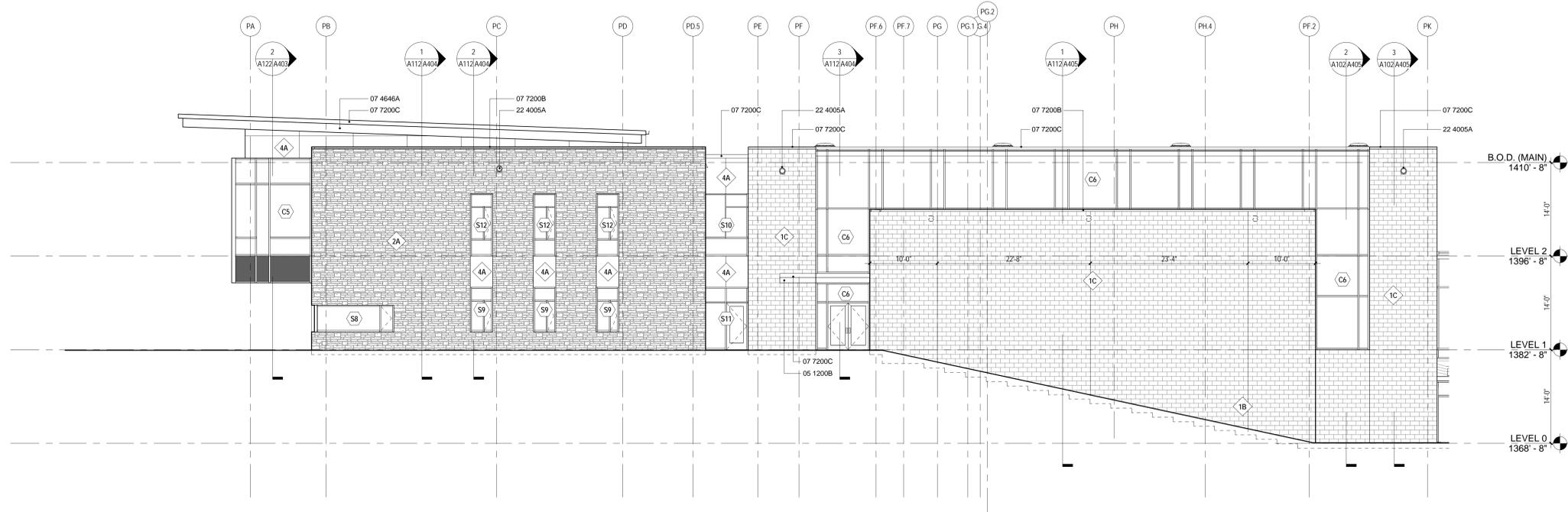
1 ELEVATION AREA B, EAST  
A112/A323 1/8" = 1'-0"



2 ELEVATION AREA B, NORTH  
A111/A323 1/8" = 1'-0"



3 ELEVATION AREA B, NORTH  
A112/A323 1/8" = 1'-0"



4 ELEVATION AREA B, WEST  
A102/A323 1/8" = 1'-0"

ELEVATION / BUILDING SECTION GENERAL NOTES

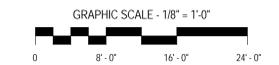
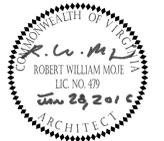
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KEYNOTES

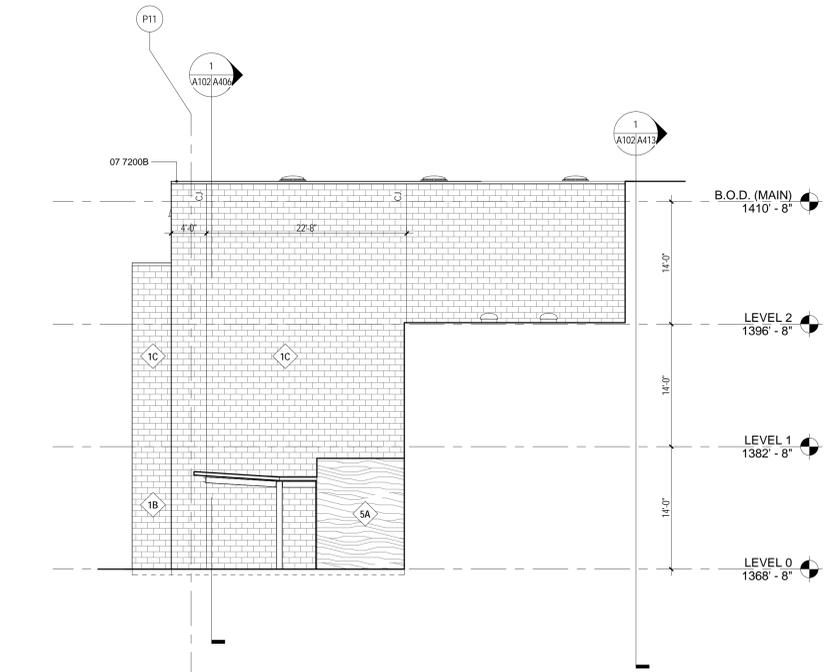
- |          |   |
|----------|---|
| 05 1200B | STEEL FRAMING   |
| 07 4646A | FIBER CEMENT PANEL (FCP)                              |
| 07 7200B | PRE-MANUFACTURED COPINGS                              |
| 07 7200C | PRE-MANUFACTURED CANTED ROOF EDGE FASCIA (GRAVELSTOP) |
| 22 4005A | SECONDARY ROOF DRAIN OUTLET                           |

EXTERIOR ASSEMBLY TYPES  
(REFER TO A500 FOR DETAILED DESCRIPTION)

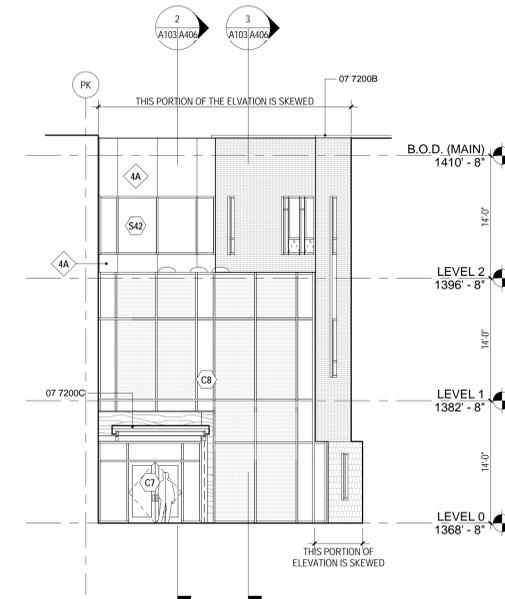
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|----|--|----|---|
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| 1B | 04 2000C GFCMU VENEER (USED AT RETAINING LOCATIONS WITHOUT HABITABLE SPACE ON VENEER SIDE) | 3A | 04 2000A BRICK VENEER                     |
| 1C | 04 2000C GFCMU VENEER (USED IN RETAINING LOCATIONS WITH HABITABLE SPACE ON VENEER SIDE)    | 4A | 07 4646A FIBER CEMENT SIDING PANELS       |
| 1D | 04 2000C GFCMU VENEER  | 5A | 07 4253A WOOD-FACED COMPOSITE WALL PANELS |
|    |  | 6A | 03 3000A CIP CONCRETE                     |



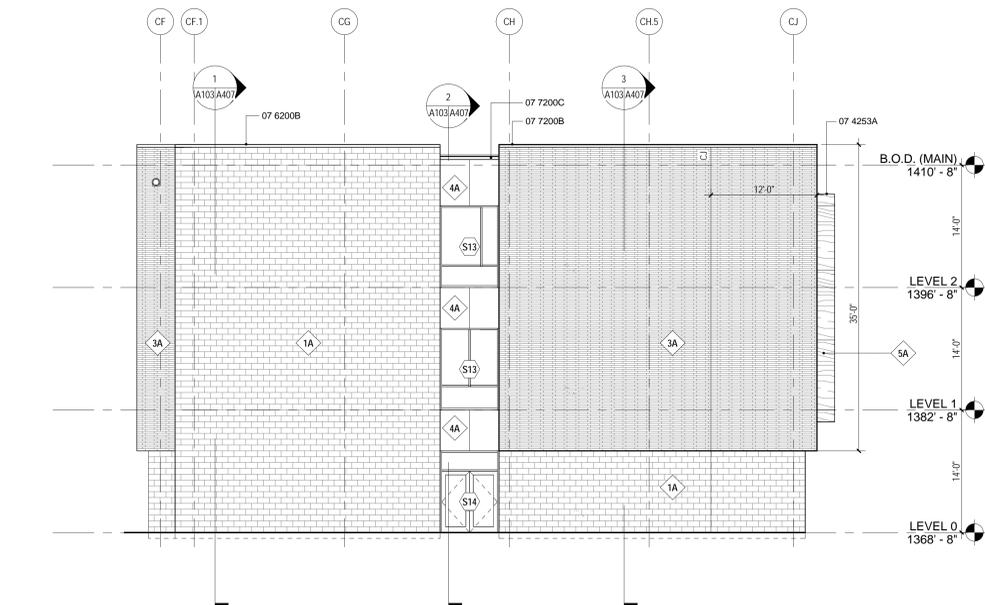
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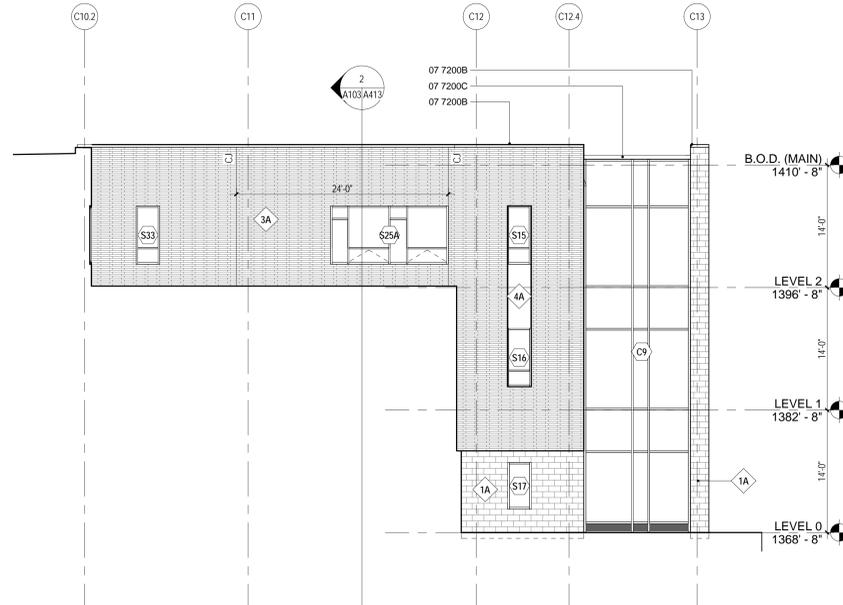
1 ELEVATION AREA B, SOUTH  
A103 A324 1/8" = 1'-0"



2 ELEVATION AREA C, WEST  
A103 A324 1/8" = 1'-0"



4 ELEVATION AREA C, WEST  
A103 A324 1/8" = 1'-0"

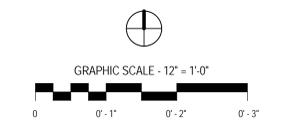
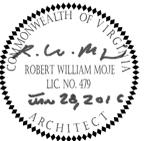


3 ELEVATION AREA C, NORTH  
A103 A324 1/8" = 1'-0"

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- |          |   |
|----------|---|
| 07 4253A | WOOD-FACED COMPOSITE WALL PANELS (EXTERIOR)           |
| 07 6200B | PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS          |
| 07 7200B | PRE-MANUFACTURED COPINGS                              |
| 07 7200C | PRE-MANUFACTURED CANTED ROOF EDGE FASCIA (GRAVELSTOP) |

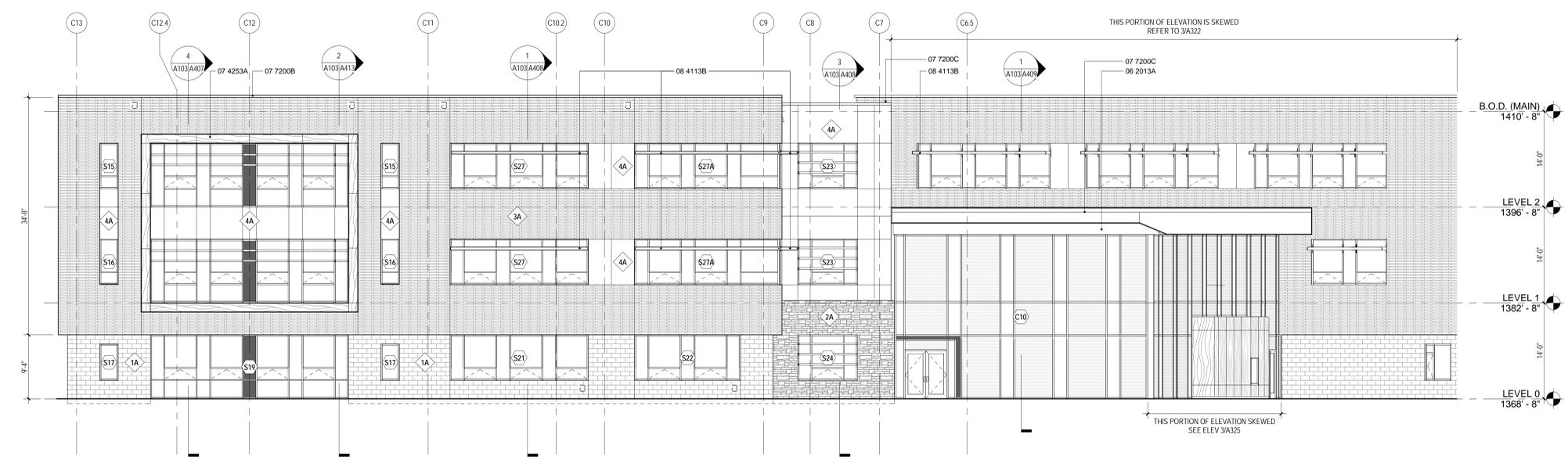
- EXTERIOR ASSEMBLY TYPES**  
(REFER TO A500 FOR DETAILED DESCRIPTION)
- |    |  |    |   |
|----|--|----|---|
| 1A | 04 2000C GFCMU VENEER  | 2A | 04 4313A STONE VENEER                     |
| 1B | 04 2000C GFCMU VENEER (USED AT RETAINING LOCATIONS WITHOUT HABITABLE SPACE ON VENEER SIDE) | 3A | 04 2000A BRICK VENEER                     |
| 1C | 04 2000C GFCMU VENEER (USED AT RETAINING LOCATIONS WITH HABITABLE SPACE ON VENEER SIDE)    | 4A | 07 4646A FIBER CEMENT SIDING PANELS       |
| 1D | 04 2000C GFCMU VENEER  | 5A | 07 4253A WOOD-FACED COMPOSITE WALL PANELS |
|    |  | 6A | 03 3000A CIP CONCRETE                     |



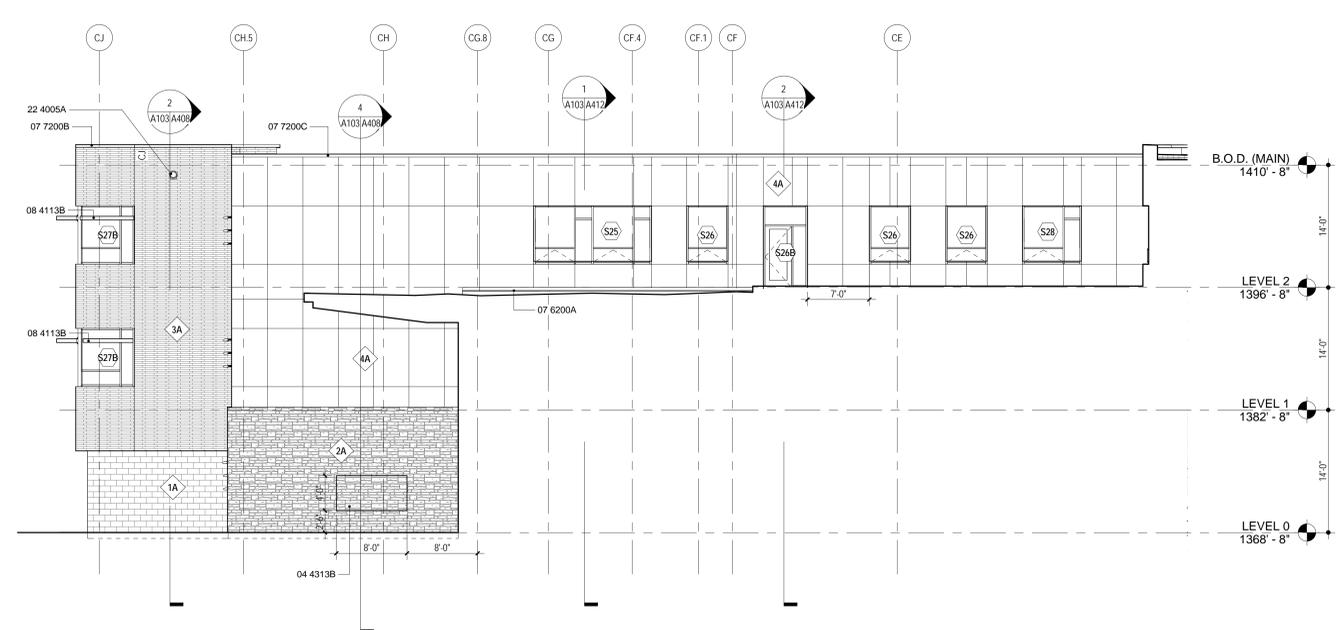
ISSUES AND REVISIONS		
NO.	SUBMITTAL	DATE
1	BID DOCUMENTS	28 JAN. 2016

EXTERIOR ELEVATIONS  
AREA C

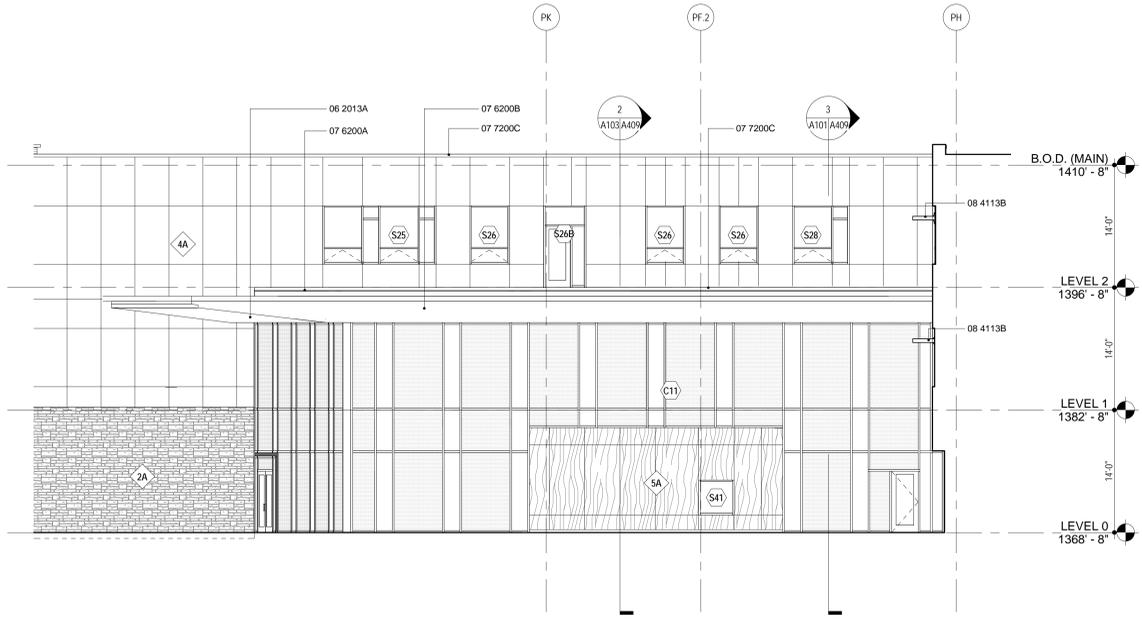
A325



1 ELEVATION AREA C, SOUTH  
A103/A325 1/8\" = 1'-0"



2 ELEVATION AREA C, EAST  
A103/A325 1/8\" = 1'-0"



3 AREA C, EAST  
A101/A325 1/8\" = 1'-0"

- ELEVATION / BUILDING SECTION GENERAL NOTES**
- ON SYMMETRICAL DRAWINGS, ALL NOTES AND DIMENSIONS SHOWN ON ONE-HALF OF DRAWING SHALL APPLY TO BOTH HALVES OF DRAWINGS.
  - PROVIDE HIGH PERFORMANCE COATINGS AT ALL EXTERIOR FERROUS METALS (STRUCTURAL AND DECORATIVE).
  - INTERIOR VIEWS IN BUILDING SECTIONS ARE TYPICALLY SIMPLIFIED FOR CLARITY. REFER TO LARGER SCALED INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
  - FOOTINGS AND FOUNDATIONS ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF WORK.
  - ALL DOWNSPOUTS ARE TO BE 6\" TYPICAL U.N.O.
  - REFERENCE MEP & CIVIL DRAWINGS FOR FULL SCOPE OF M.E.P. AND CIVIL WORK.
  - PROVIDE CAST IRON BOOTS AT ALL DOWNSPOUTS AT GRADE, U.N.O.

**KEYNOTES**

04 4313B	STONE VENEER - HONED SLATE PANEL
06 2013A	EXTERIOR WOOD BOARD SOFFIT
07 4253A	WOOD-FACED COMPOSITE WALL PANELS (EXTERIOR)
07 6200A	COUNTERFLASHING
07 6200B	PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS
07 7200B	PRE-MANUFACTURED COPINGS
07 7200C	PRE-MANUFACTURED CANTED ROOF EDGE FASCIA (GRAVELSTOP)
08 4113B	HORIZONTAL OUTRIGGER SUNSHADE
22 4005A	SECONDARY ROOF DRAIN OUTLET

**EXTERIOR ASSEMBLY TYPES**  
(REFER TO A500 FOR DETAILED DESCRIPTION)

1A	04 2000C GFCMU VENEER	2A	04 4313A STONE VENEER
1B	04 2000C GFCMU VENEER (USED AT RETAINING LOCATIONS WITHOUT HABITABLE SPACE ON VENEER SIDE)	3A	04 2000A BRICK VENEER
1C	04 2000C GFCMU VENEER (USED @ RETAINING LOCATIONS WITH HABITABLE SPACE ON VENEER SIDE)	4A	07 4646A FIBER CEMENT SIDING PANELS
1D	04 2000C GFCMU VENEER	5A	07 4253A WOOD-FACED COMPOSITE WALL PANELS
		6A	03 3000A CIP CONCRETE

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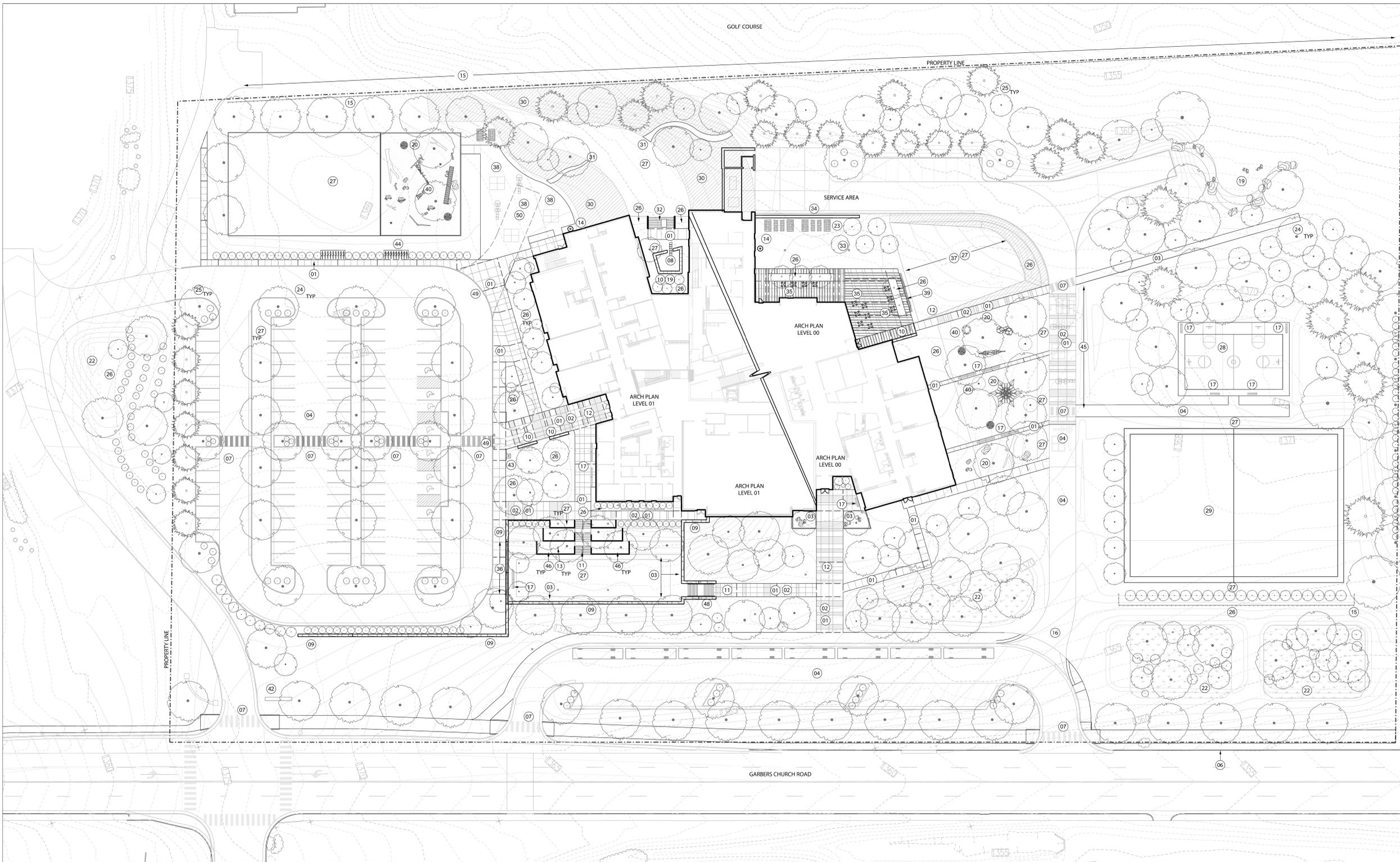
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**PROJECT KEYNOTES**

- |  |  |  |   |   |
|--|--|--|---|---|
| 01 SITE PAVING: CONCRETE W/ SAWCUT CONTROL JOINTS    | 12 ENTRY WALK: ACCESSIBLE                    | 23 RAISED GARDEN BED (NIC)                                 | 34 SITE SCREENING 6'HT. (SEE ARCH.)                           | 45 TRAFFIC CALMING AREA                   |
| 02 SITE PAVING: CONCRETE W/ EXPOSED AGGREGATE FINISH | 13 SURFACE DRAIN TYP                         | 24 PROPOSED DECIDUOUS TREE                                 | 35 SITE FURNITURE: TABLES & CHAIRS SURFACE MOUNTED GUARD RAIL | 46 SCHOOL GATHERING AREA: STEPPED TERRACE |
| 03 SITE PAVING: STONE DUST PAVING                    | 14 CISTERN                                   | 25 PROPOSED EVERGREEN TREE                                 | 36 LANDFORM   | 47 SITE WALL - CURB HEIGHT                |
| 04 PAVING: ASPHALT                                   | 15 ORNAMENTAL FENCE, 4' HT. BLACK CHAIN LINK | 26 PLANTING AREA   | 37 ASPHALT PLAY SURFACE                                       | 48 STONE VENEER WALL @ STAIRS             |
| 05 EXISTING SIDEWALK                                 | 16 EMERGENCY VEHICLE / SERVICE ACCESS        | 27 LAWN AREA   | 38 ROUNDED RIVER STONES EROSION CONTROL                       | 49 TURNED DOWN CONCRETE EDGE              |
| 06 EXISTING CURB TO REMAIN                           | 17 SITE BENCH                                | 28 BASKETBALL / PLAY COURT - ASPHALT                       | 39 PLAY EQUIPMENT   | 50 FIRE TRUCK LAY DOWN AREA (ASPHALT)     |
| 07 CROSS WALK  | 18 BOLLARD                                   | 29 SPORTS FIELD  | 40 NA   |   |
| 08 CONCRETE STEPPING STONES                          | 19 OUTDOOR CLASSROOM                         | 30 NATIVE WILDFLOWER & GRASS PLANTINGS                     | 41 SCHOOL SIGN  |   |
| 09 SITE WALL: STONE VENEER, RETAINING                | 20 PLAY SURFACE: ENGINEERED WOOD CHIPS       | 31 MOWN PATH   | 42 FLAG POLE  |   |
| 10 SITE WALL: STONE VENEER - SEAT WALL HEIGHT        | 21 NA  | 32 SITE STAIRS: CONCRETE WITH HANDRAILS & CONC. CHEEK WALL | 43 BICYCLE RACK (15)  |   |
| 11 SITE STAIRS: CONCRETE WITH HANDRAILS              | 22 STORMWATER MANAGEMENT AREA                | 33 FRUIT TREE PLANTINGS                                    |   |   |

**SITE PLAN LEGEND**

- |                          |                  |                |                 |  |                                      |                              |
|--------------------------|------------------|----------------|-----------------|--|--------------------------------------|------------------------------|
| --- PROPERTY LINE        | ACCESSIBLE ROUTE | CONTROL JOINT  | EXPANSION JOINT | EXPOSED AGGREGATE PAVING BAND W/ SPECIAL AGGREGATE | EROSION CONTROL ROUNDED RIVER STONES | SITE WALL                    |
| RAISED PLANTER BED (NIC) | CISTERN          | SITE FURNITURE | PLAY EQUIPMENT  | SITE FENCE: PROPOSED                               | WOODEN BRIDGE                        | DRAIN INLETS (REF. CIV DWGS) |
| LANDSCAPE BOULDERS       | SITE LIGHTING    |                |                 |  |                                      |                              |



01 LANDSCAPE KEYNOTE PLAN : NEW ELEMENTARY SCHOOL  
 SCALE 1" = 30'-0"  
 0' 15' 30' 60' 90'